



# **The Alabama Association of Assessing Officials**

## *Map Maintenance & Updating Procedures*



# *Presentation Objectives*

- **Focus**— Particulars of Mapping Specs
- Discussion Areas:
  - Dimensions
  - Acreage
  - Land Hooks
  - Contiguous Parcels
  - Combining of parcels
  - Placement of information

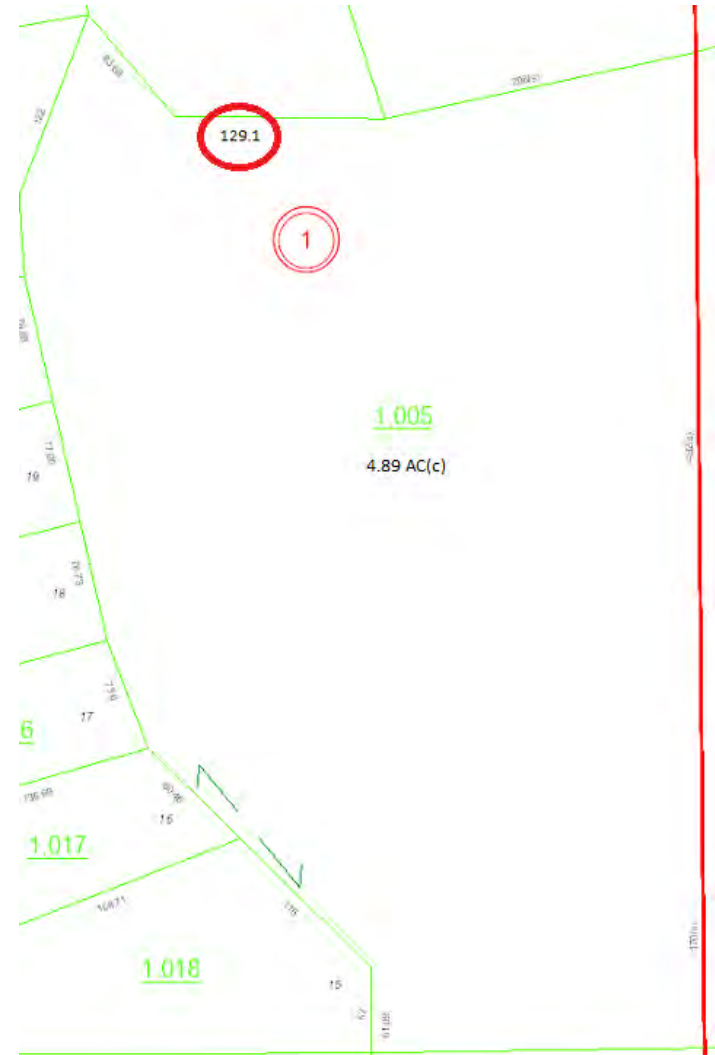


# *DIMENSIONS*



# Dimensions

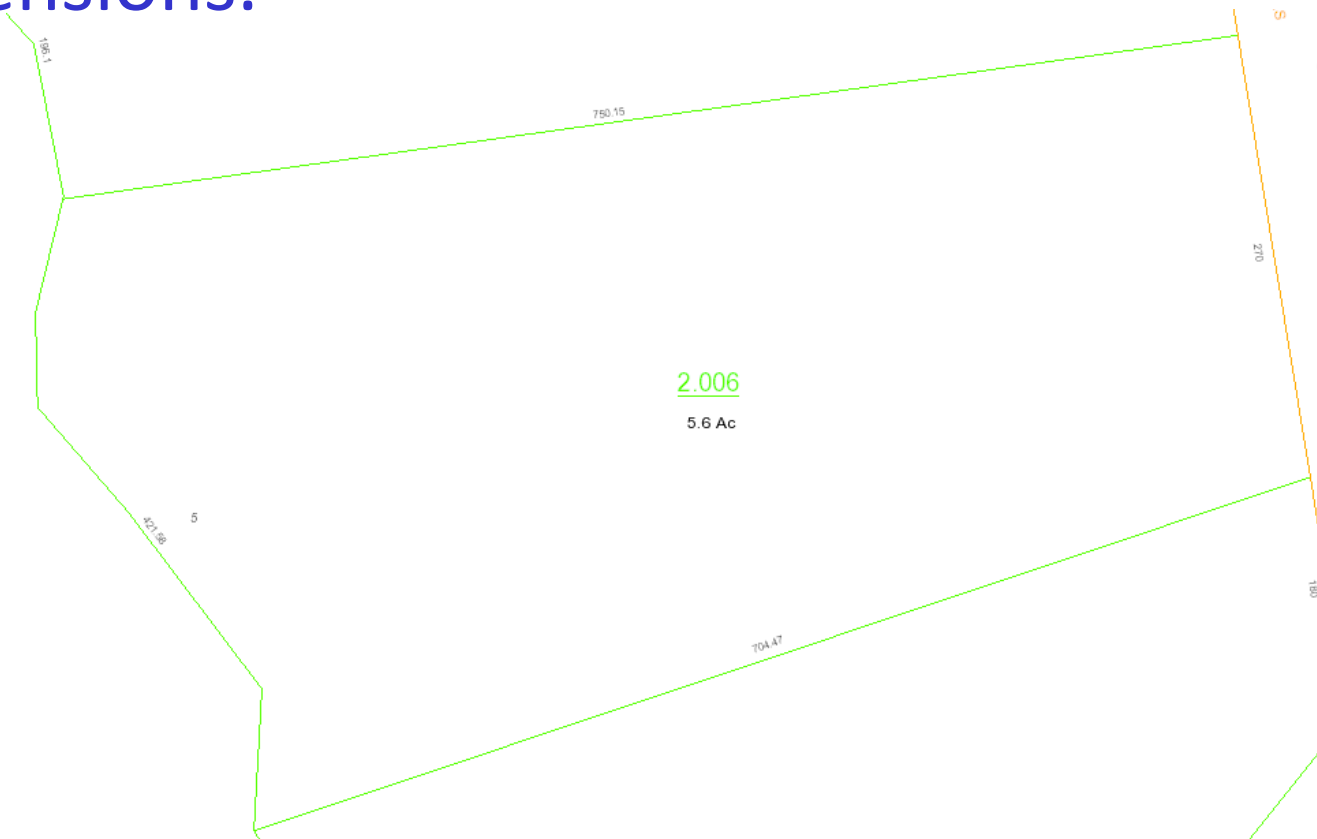
- All maps will show deed or plat dimensions decimally on all parcels under five acres to the nearest tenth of a foot.





# Dimensions

- All subdivision lots will, regardless of size, show dimensions.





## *Dimensions*

- In those cases where differentials exist in the boundary dimensions as stated in the deed of ***more than 3%***, the boundary will show both dimensions, designating deed dimensions with a small “d” and scale dimensions with a small “s” after the number.



# Dimensions





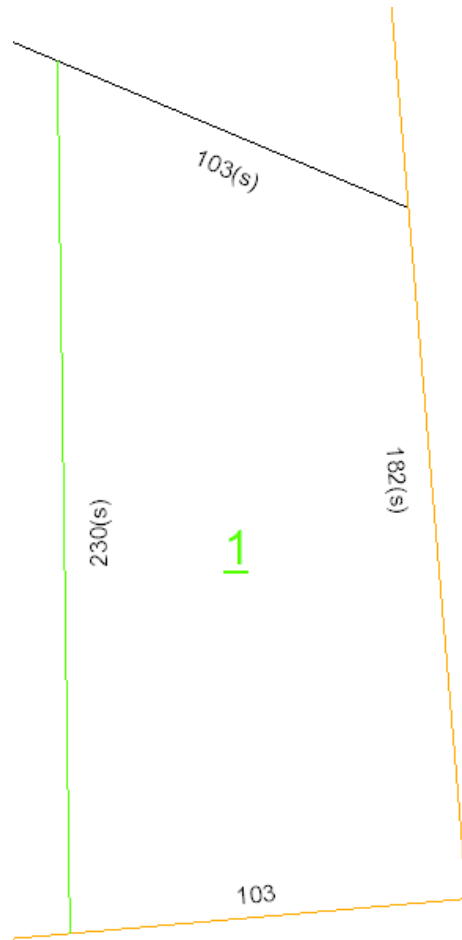
## *Dimensions*

- Where the differentials between deed and scale are *less than 3%* only deed dimensions will be shown. It will not be necessary in those cases for a small “d” to be shown.





# Dimensions





# ACREAGE



# Acreage

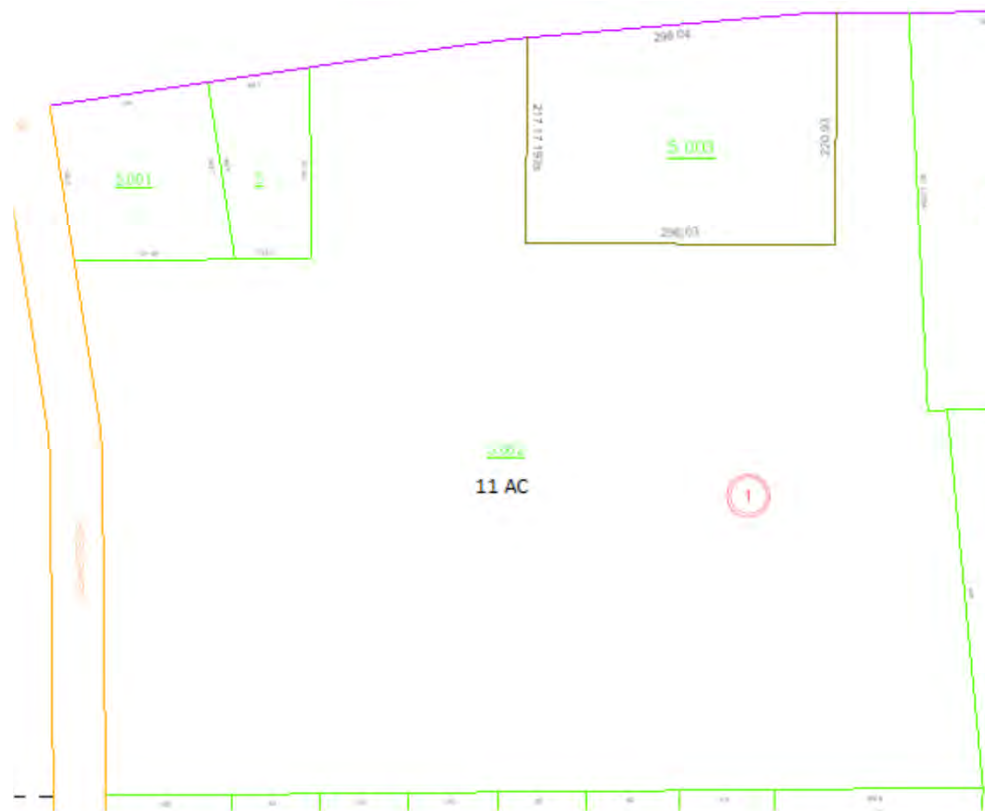
- All parcels under ten acres will be shown to the nearest one-tenth (1/10) acre.





## Acreage

- All parcels over ten acres will be shown to the nearest acre.



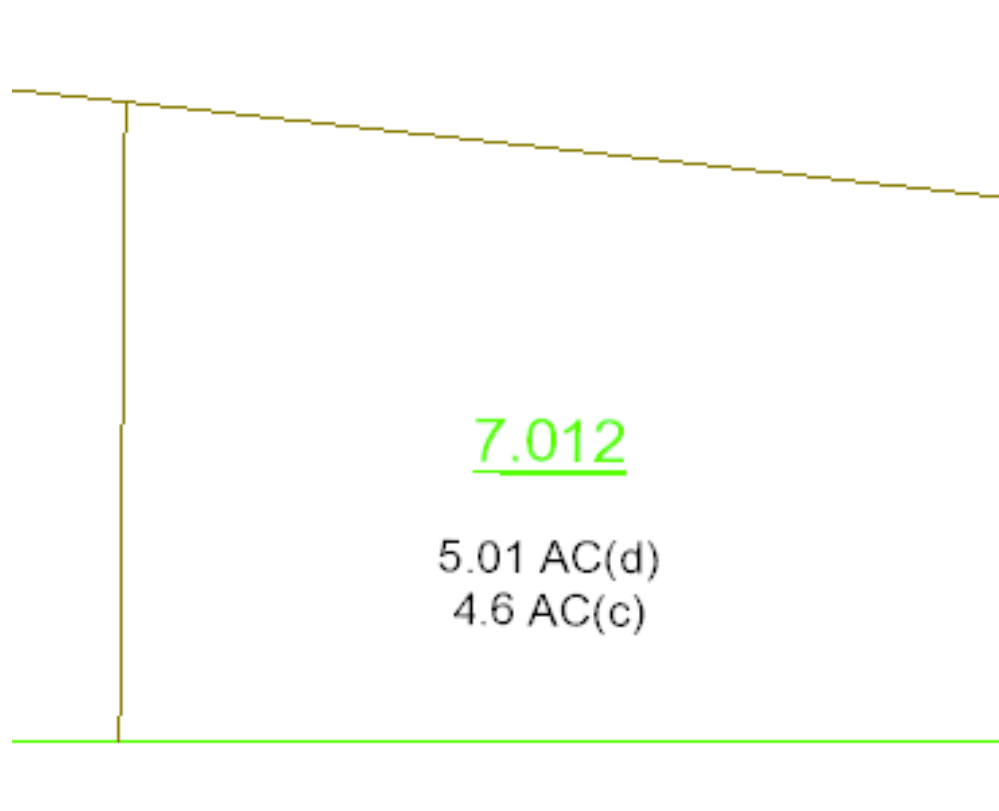


## *Acreage*

- Where differentials exist in area as stated in the deed of **3% or more** the parcel will show both deed and calculated acreage. Deed acreage designated by a small (d) in parenthesis will be directly under the parcel number and calculated acreage designated by a small (c) in parenthesis will be under deed acreage.



# Acreage



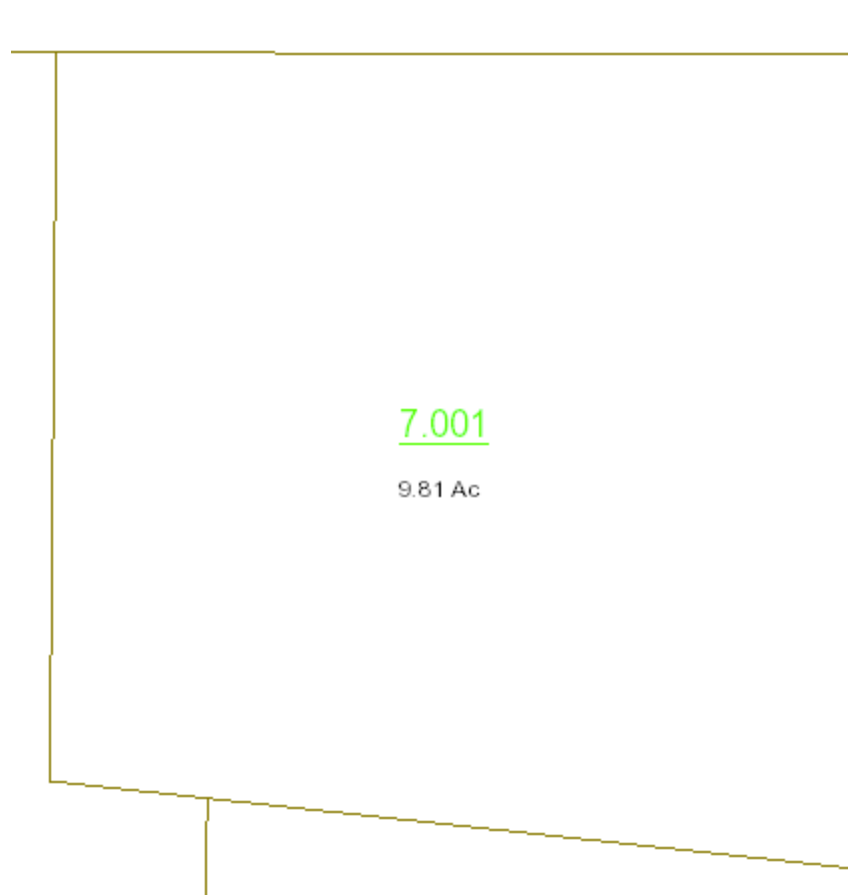


## *Acreage*

- Where the differentials are *less than 3%*, only deed acreage will be shown and it will not be necessary to designate it by a small (d).



# Acreage





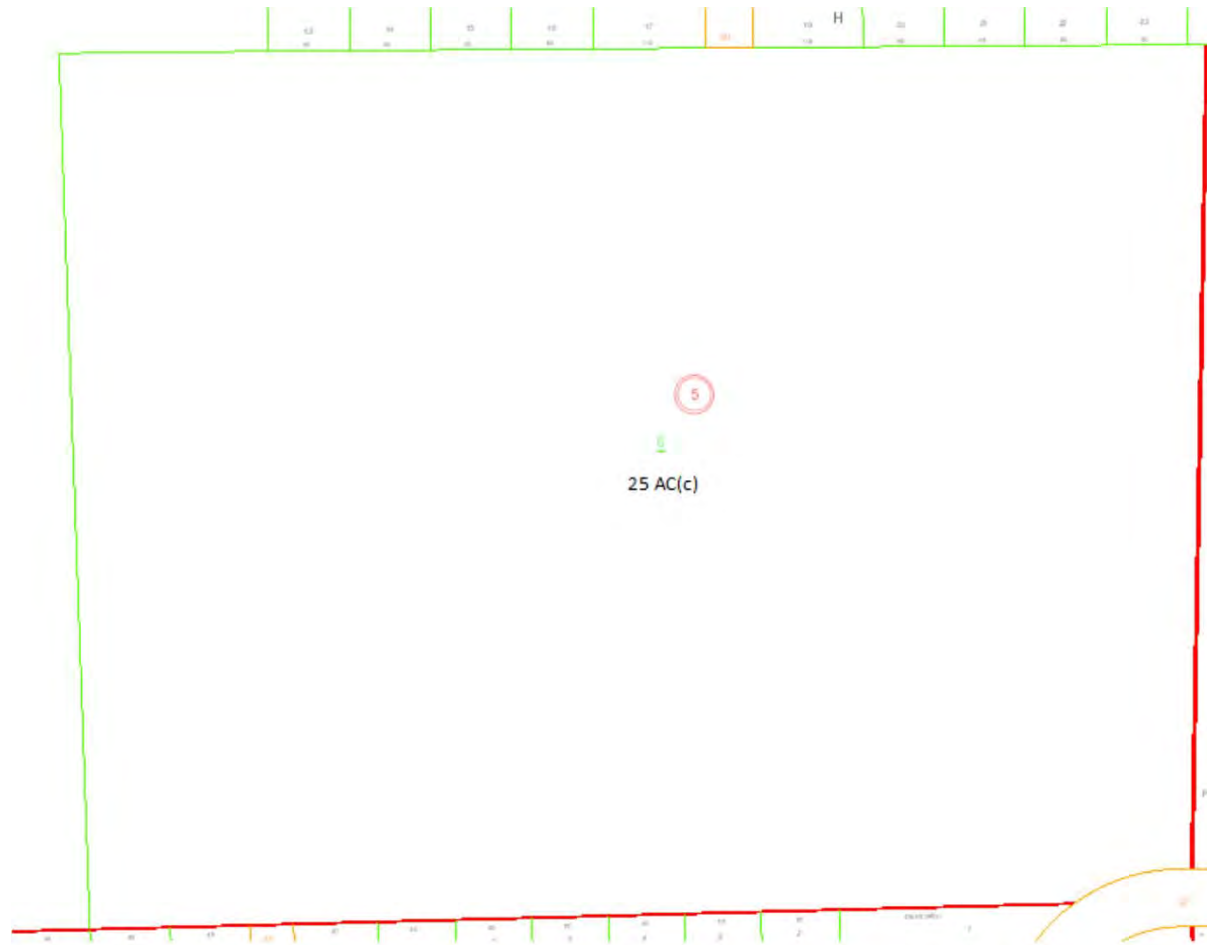


## *Acreage*

- In cases where no acreage is defined in the vesting instrument, or in cases where parcels must be split, calculated acreage only will be used and will be designated by a small (c) in parenthesis.



# Acreage



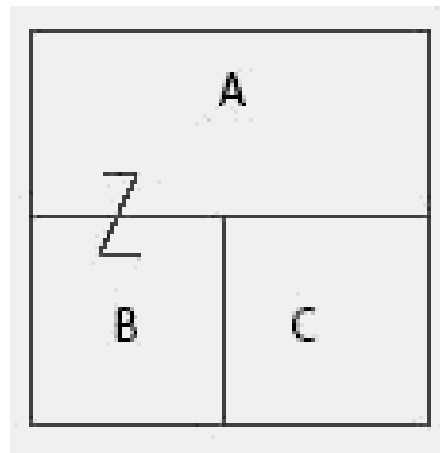


# *LAND HOOKS*



## *Land Hook*

- A method of indicating on a survey map the existence of contiguous parcels with the same ownership. In the diagram, the symbol connecting parcel A to parcel B is called the “**land hook.**”



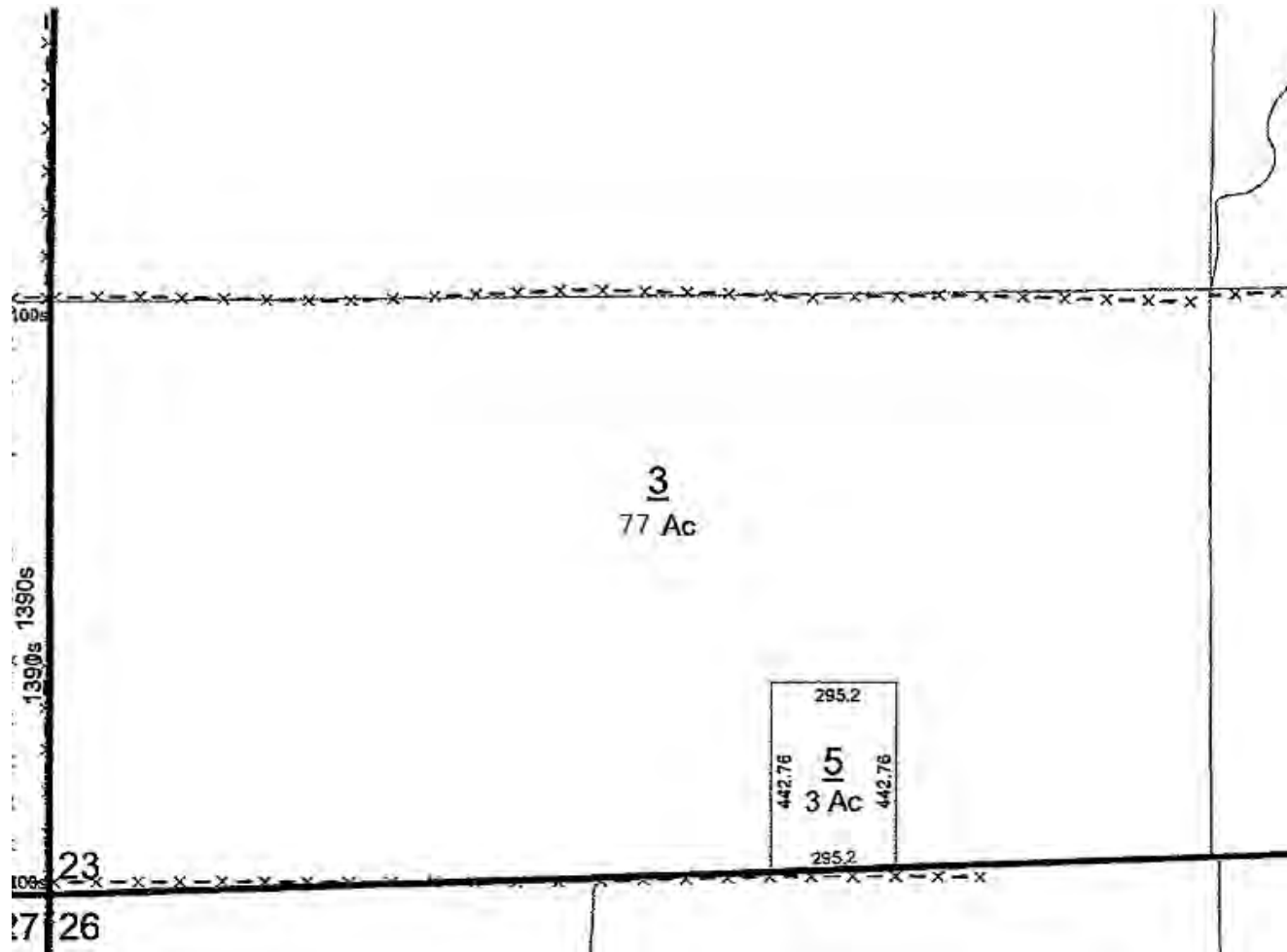


## *Land Hook*

- LANDOWNER OWNS S/2 OF SW/4 UNDER ONE PARCEL NUMBER. THEN, THEY SALE 25 AC LOCATED IN THE MIDDLE OF THE S/2 OF SW/4, CAN THE MAPPER USE A LAND HOOK TO CONNECT THE PARENT PARCEL, OR WOULD ONE PART GET A NEW PARCEL NUMBER?

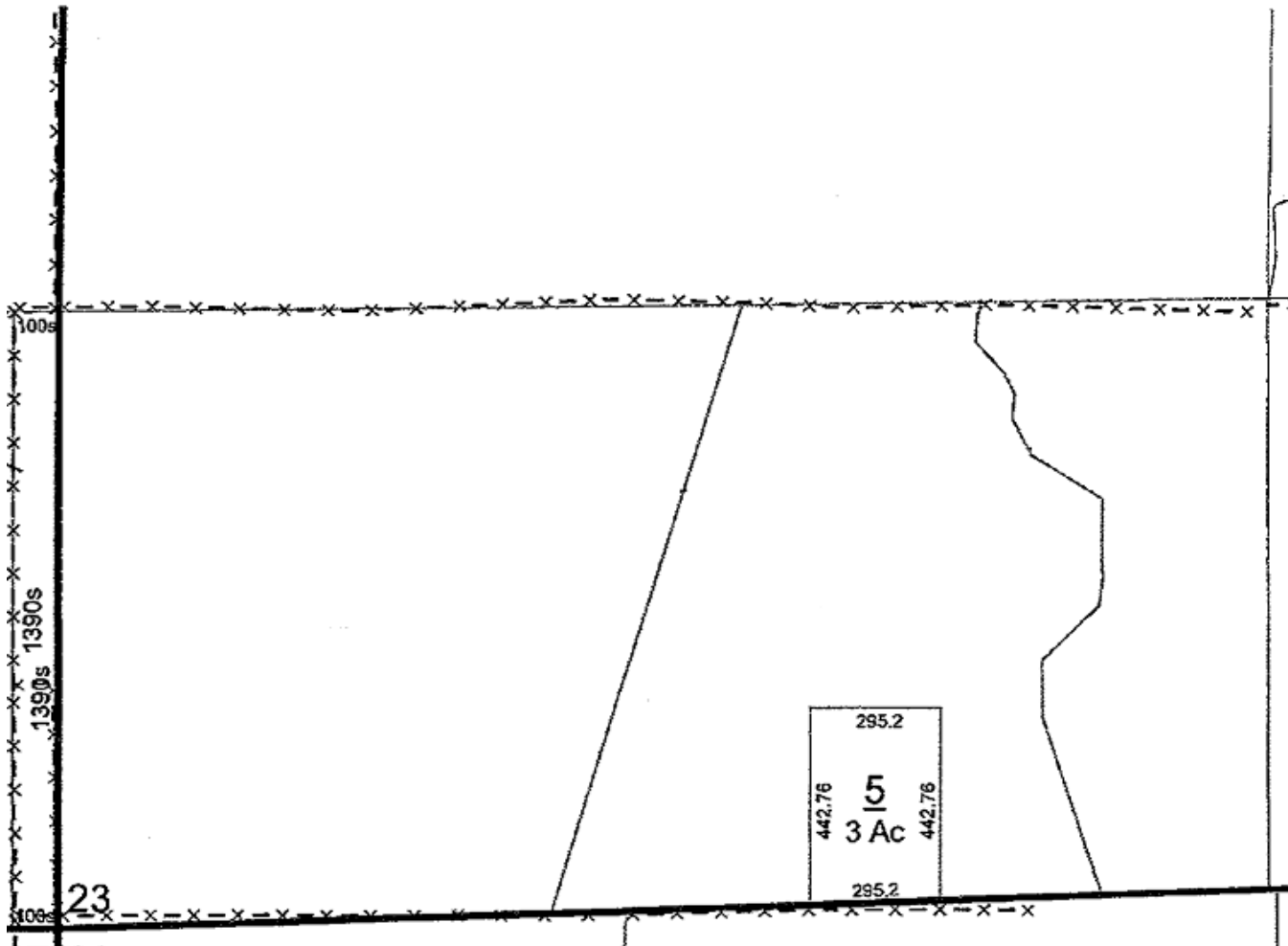


# Land Hook





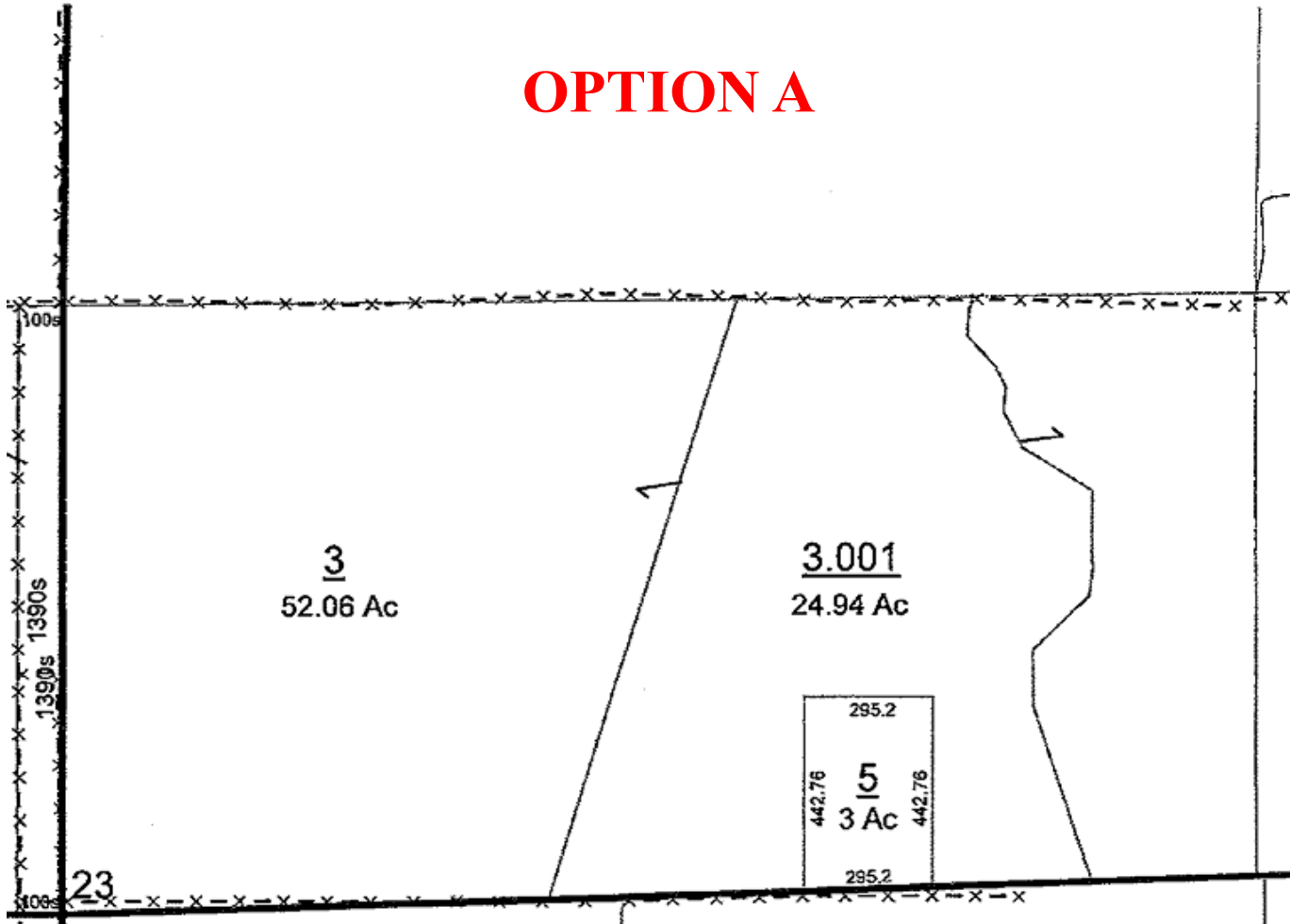
# Land Hook





# Land Hook

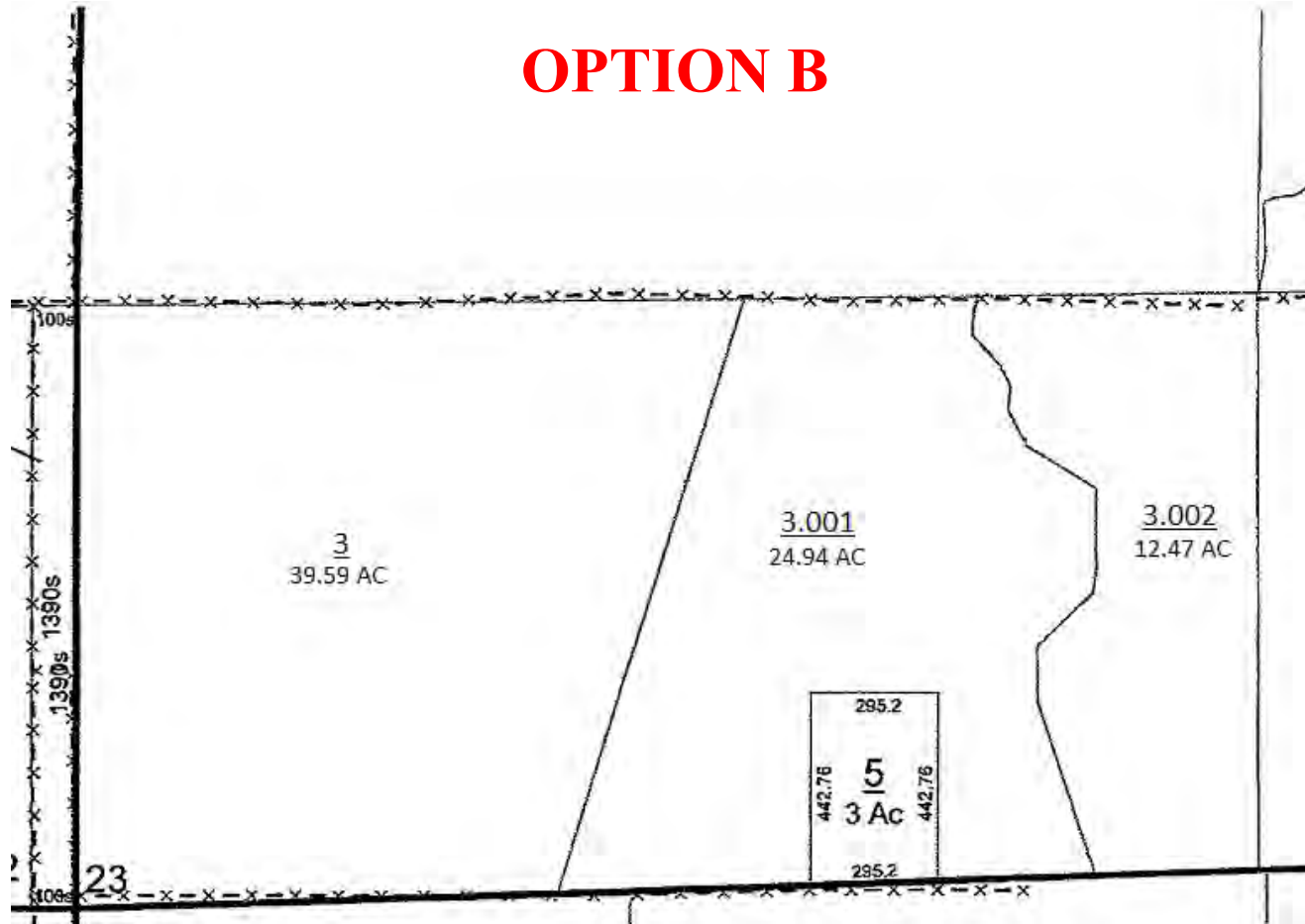
## OPTION A







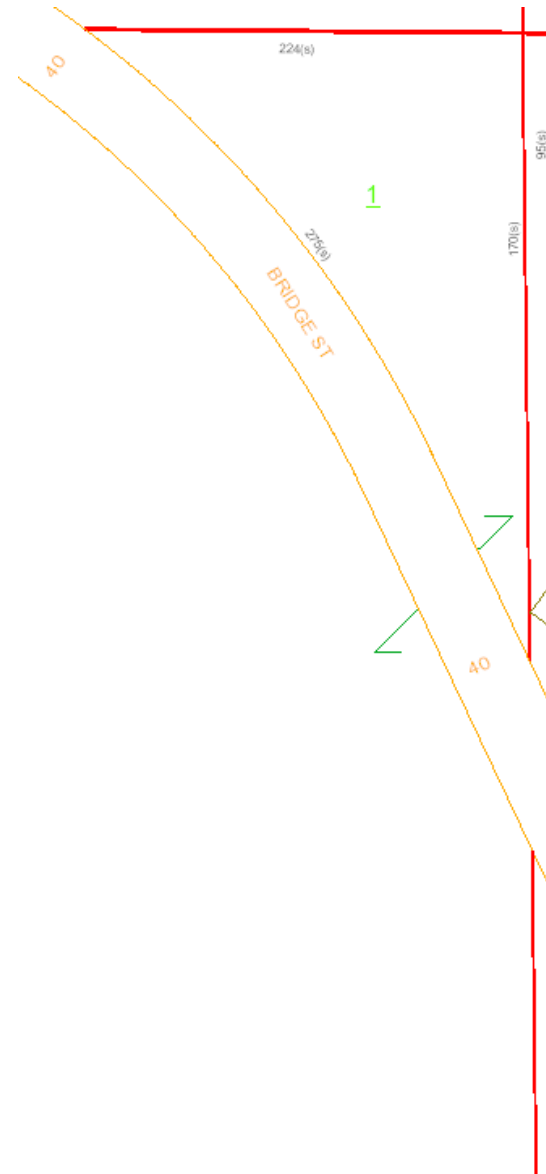
# OPTION B





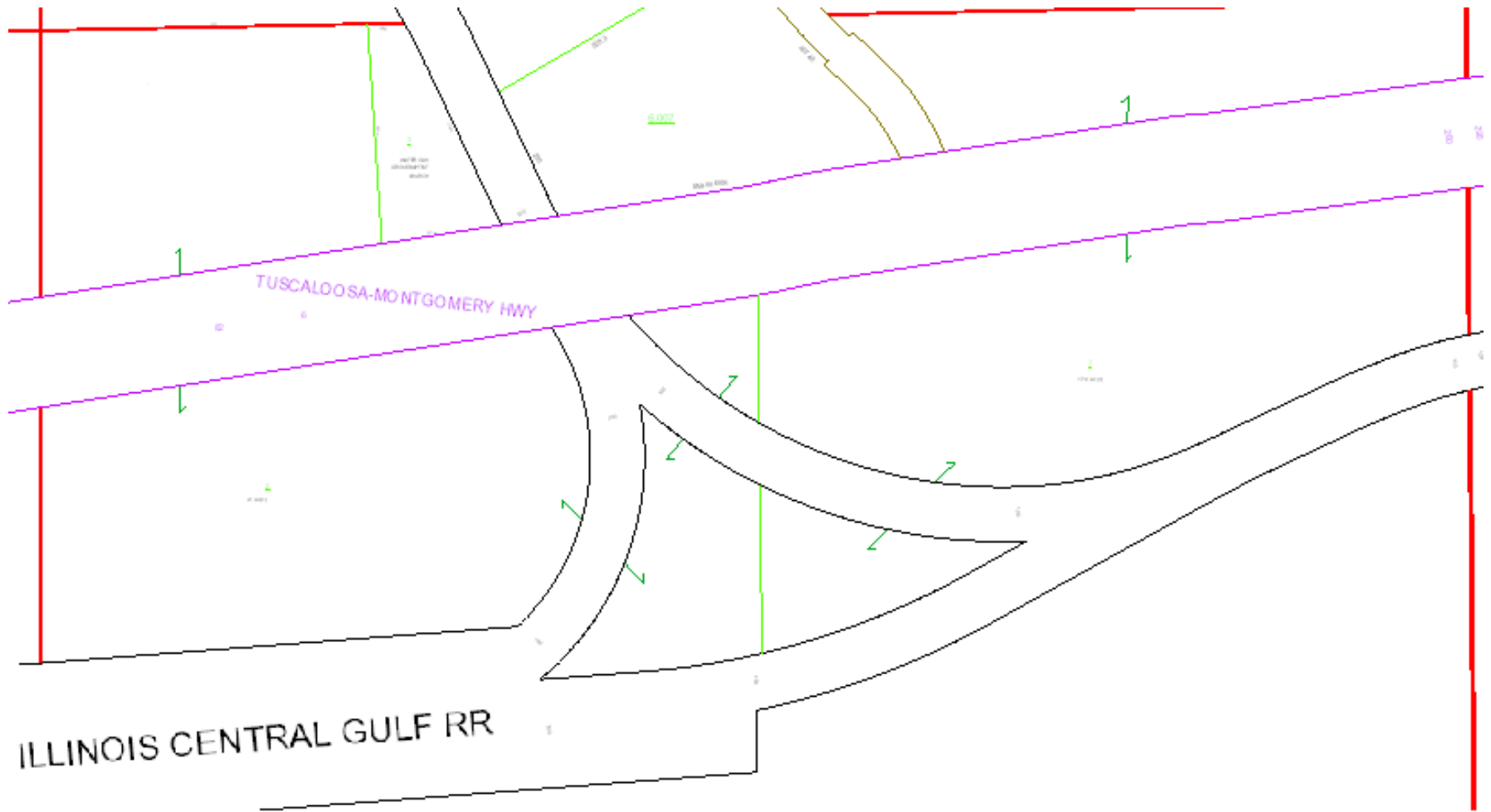
# Land Hooks

- Land hooks can be used only where a parcel is split by a railroad or highway right-of-way to denote single ownership.



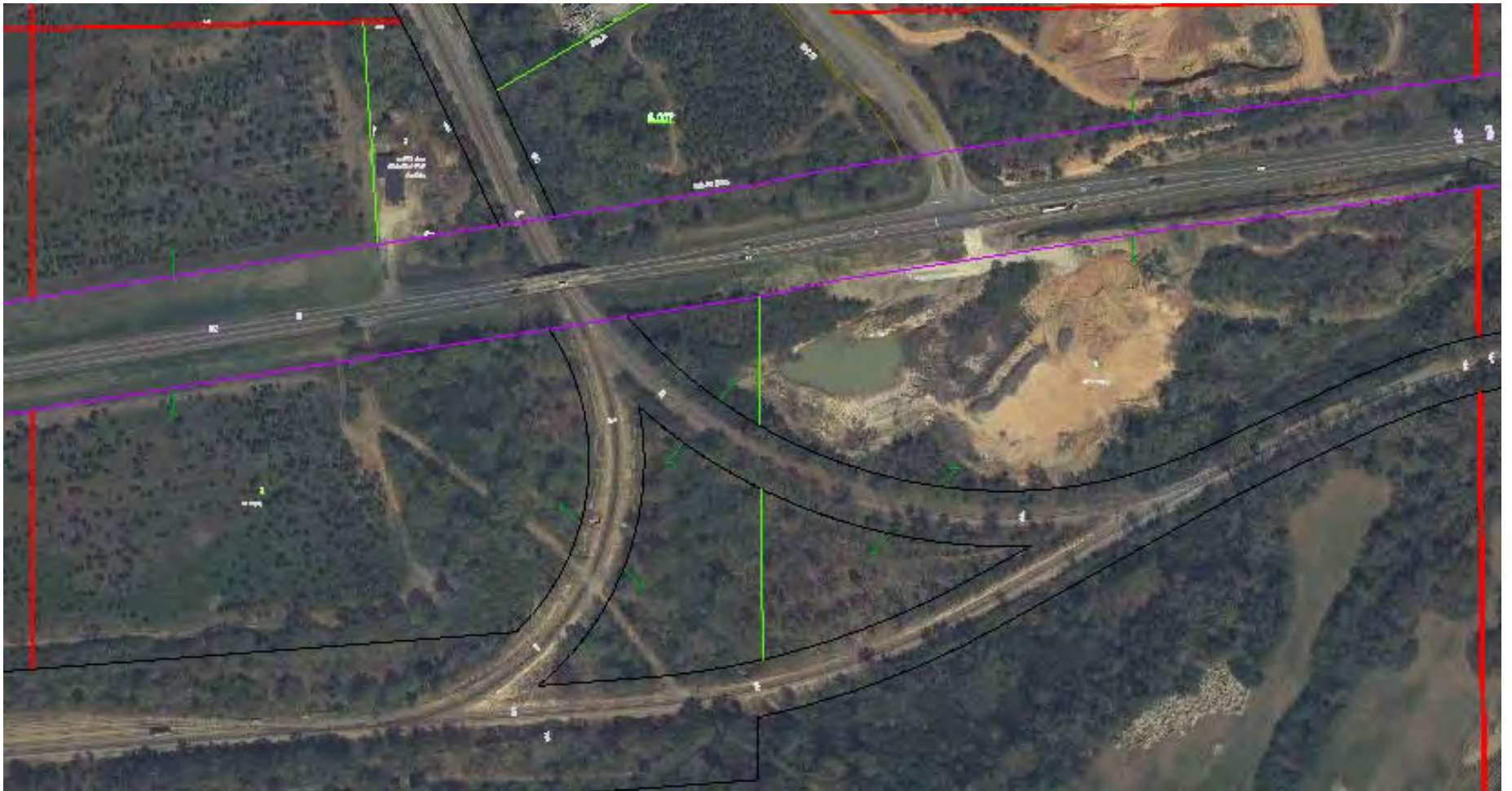


# Land Hook





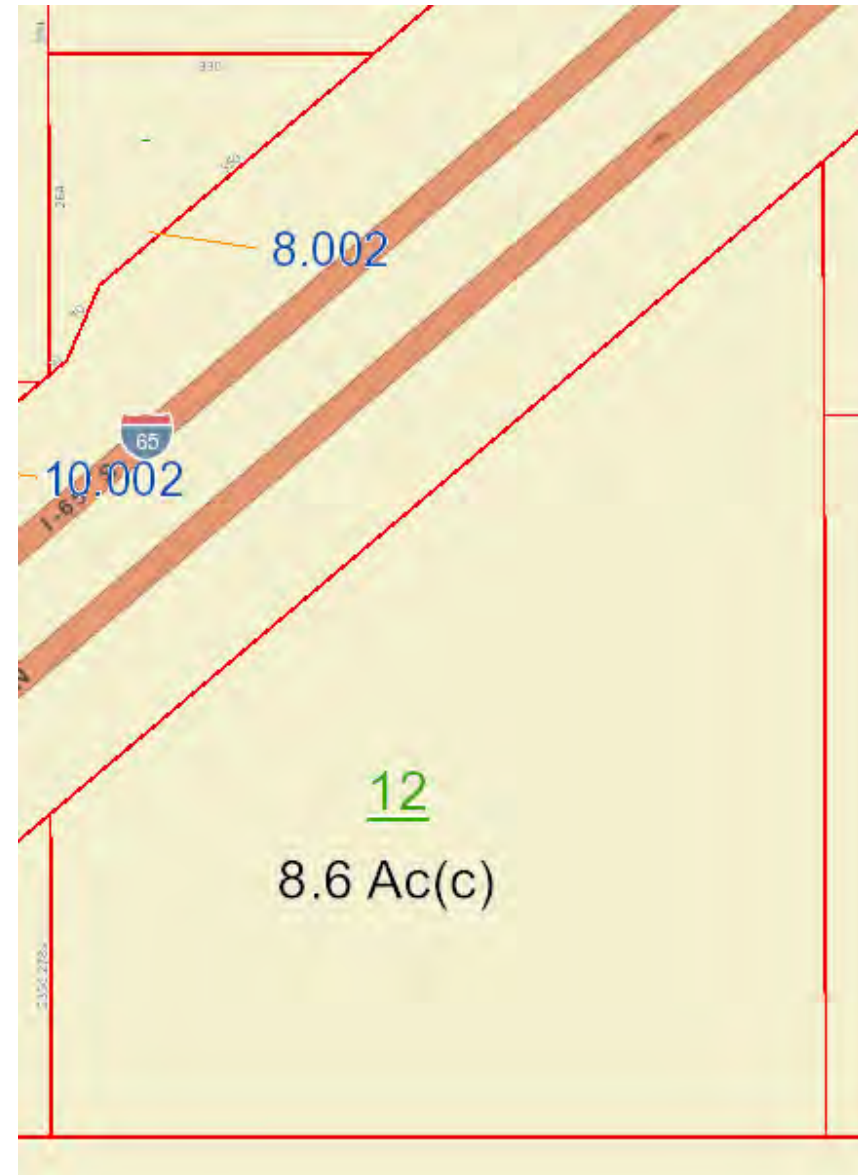
# Land Hook





## Land Hooks

- The exception to this will be where interstate highways, lakes, rivers, or reservoirs split parcels.





## *Land Hooks*

- Cartographers should add dashed land hooks on contiguous parcels on same map and adjoining sections.





# *Land Hooks*





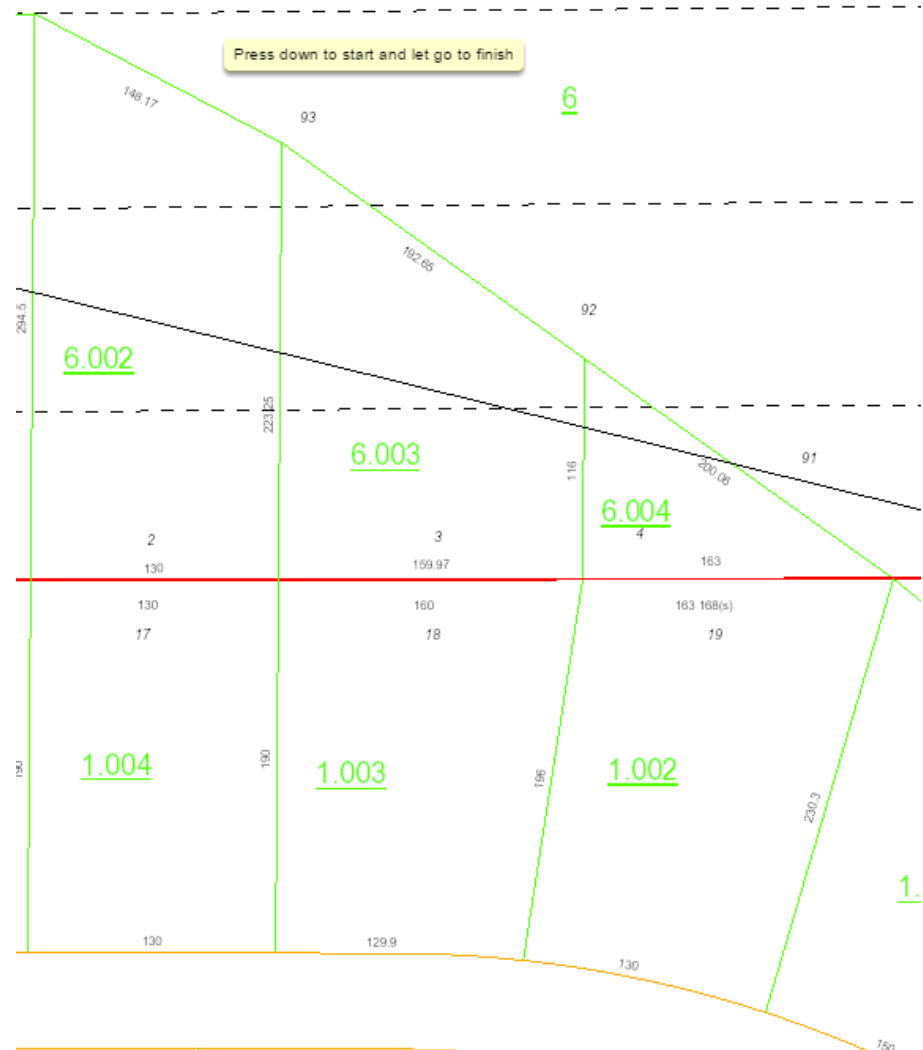


# *CONTIGUOUS PARCELS*



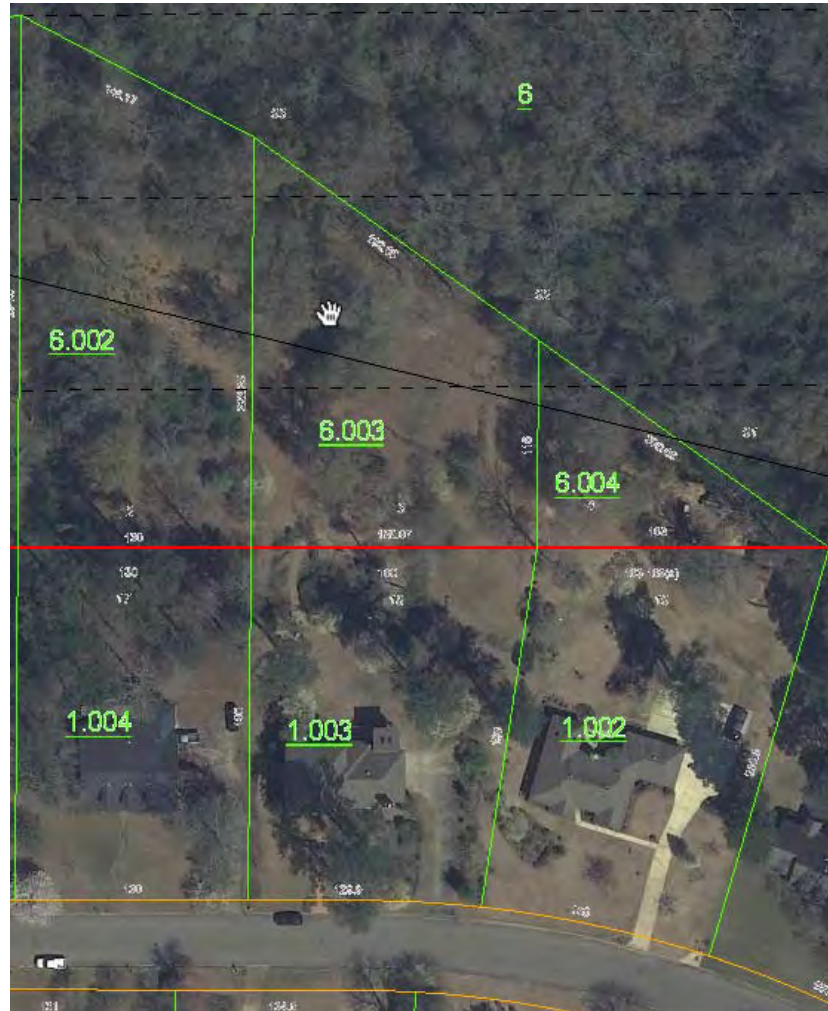
# Contiguous Parcels

- Contiguously owned parcels, in two or more sections, shall be mapped as separate parcels. . Only contiguously owned parcels in the same section will be mapped as one parcel.





# Contiguous Parcels



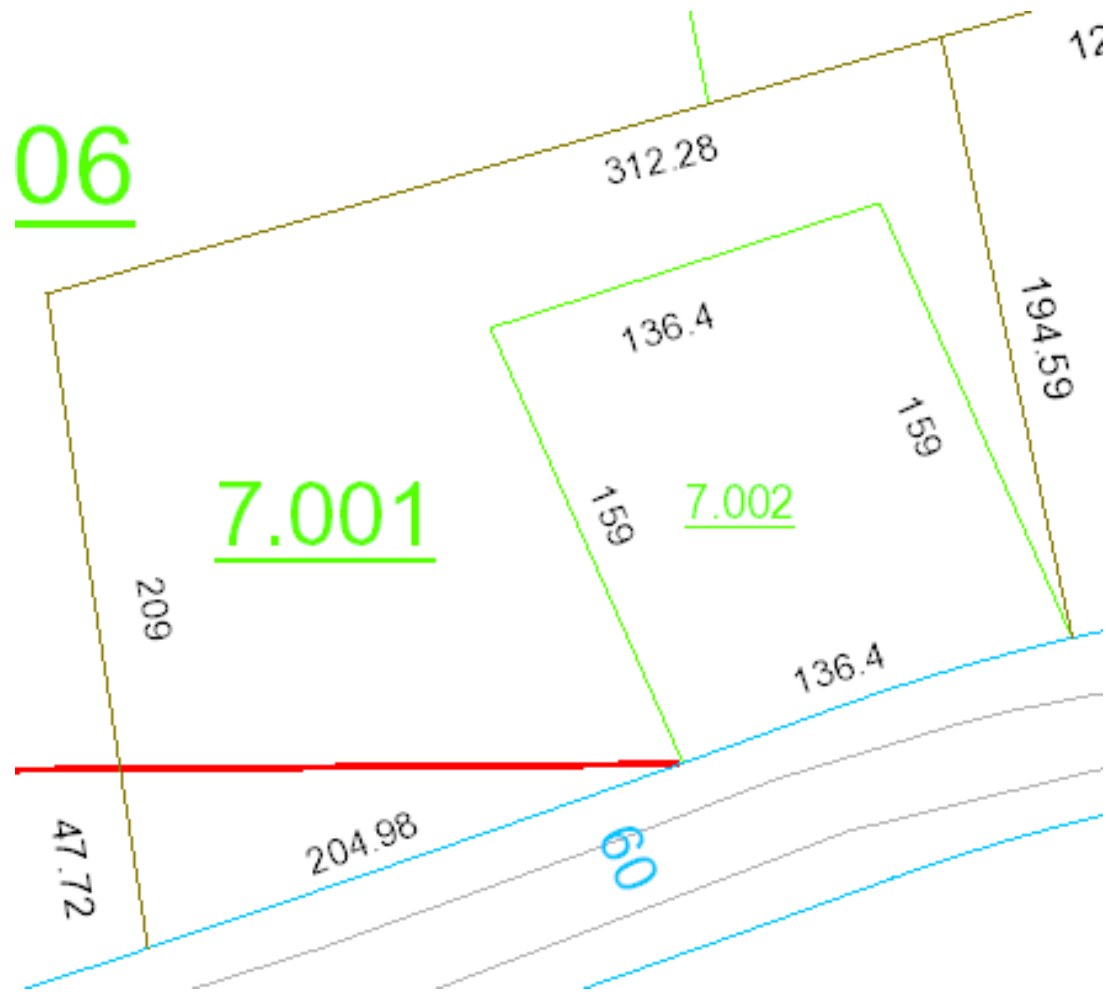


## *Contiguous Parcels*

- However, parcels with a land area of two acres or less in the rural area, not subject to further subdivision, or a lot in a subdivision extending into an adjoining map area, can be included in the map which has the largest land area or facing a street or road.



# Contiguous Parcels





# Contiguous Parcels





# **ENCROACHMENTS/CONFLICTS**



## *Encroachments/Conflicts*

- In plotting property where a field edit and deed has determined an encroachment actually exists, the area of encroachment will be visibly marked by the use of hash lines on the map.
- The cartographer is not responsible for settling differences between property owners.





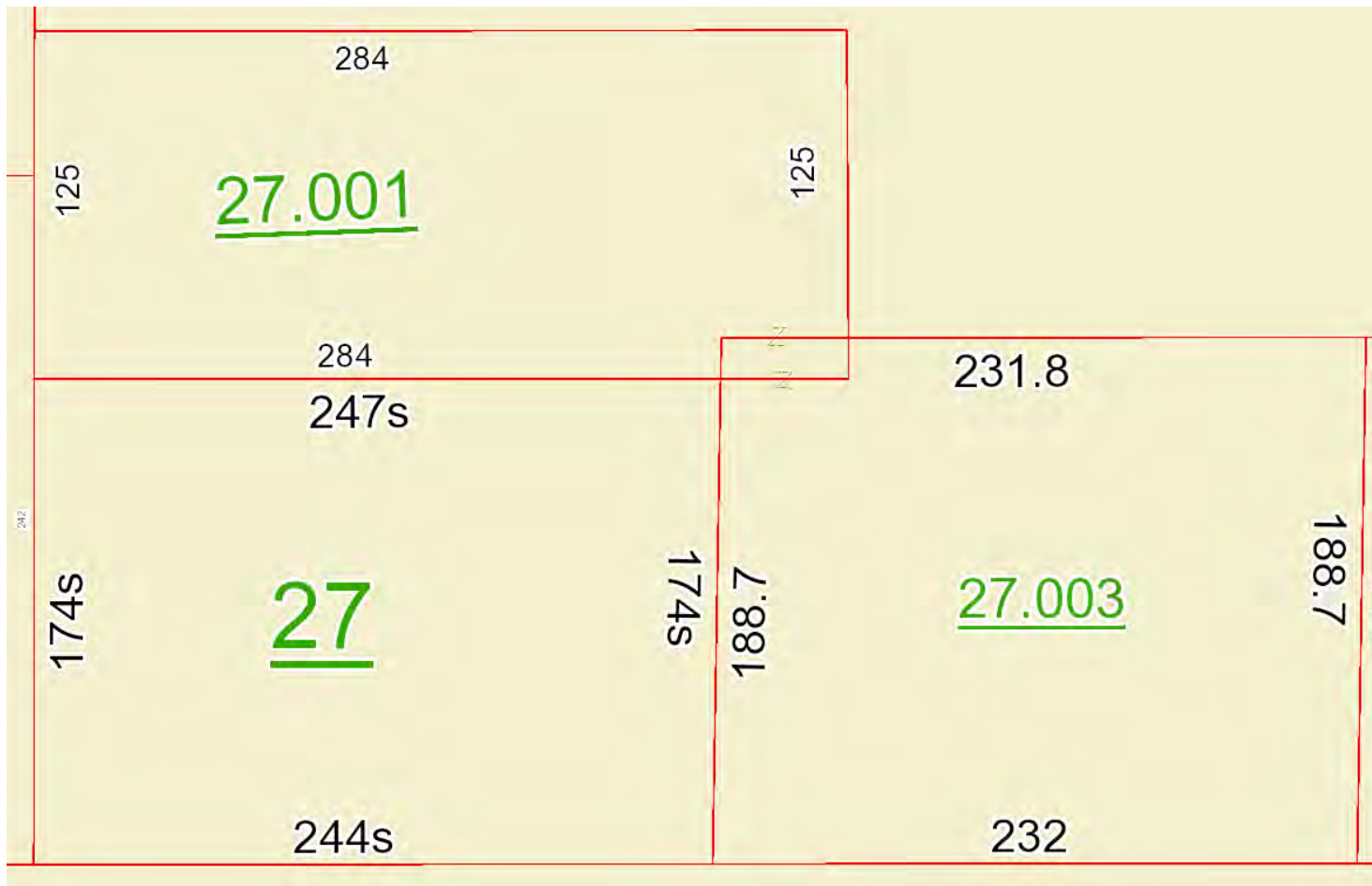
# *Encroachments/Conflicts*

## DESCRIPTION

125' X 284' IRR BEG AT SW COR OF SE1/4 OF SW1/4 RUN TH N 30'  
, TH CONT N 169' FOR THE POB, TH CONT N 125', TH E 284', TH  
S 125', TH W 284' TO THE POB SEC 8-T5S-R4E (VL D) \* HASH LIN  
ES ON PROPERTY OWNERSHIP MAP INDICATE AN AREA OF ENCROACHMEN  
T WITH JEAN MARC AND TYLER PRESCOTT\*\*

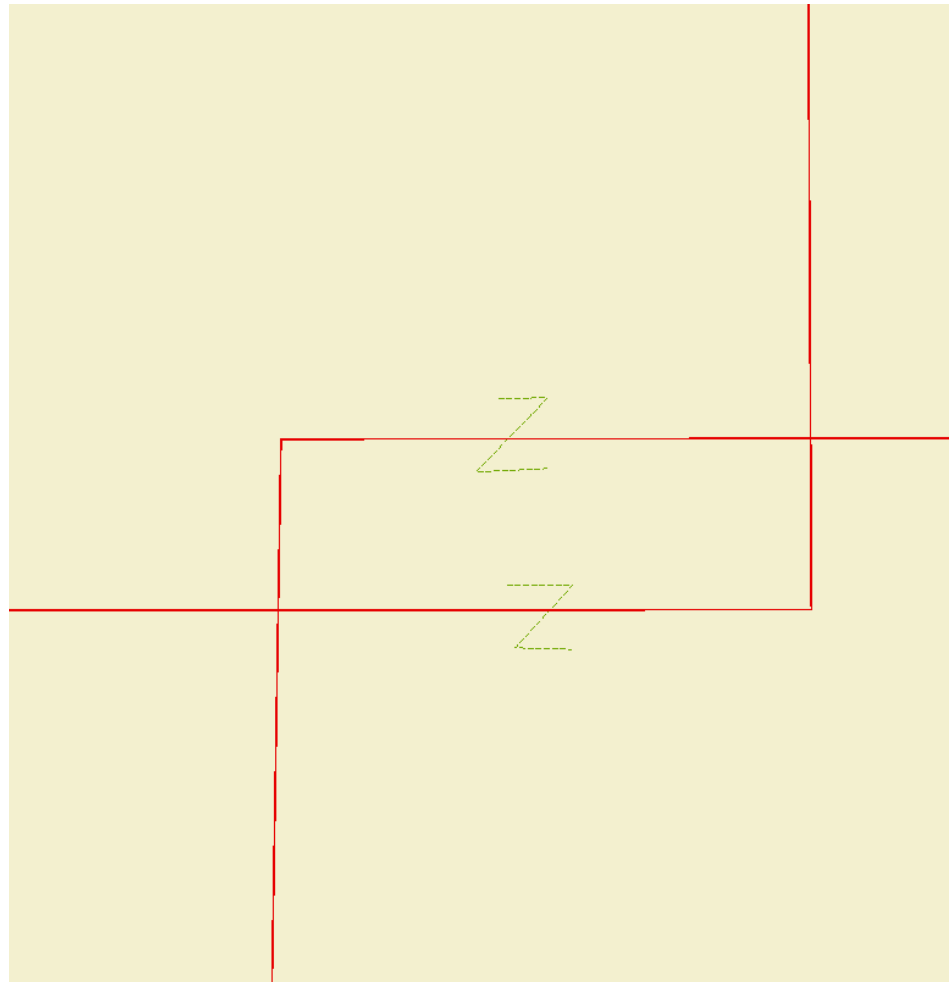


# Encroachments/Conflicts



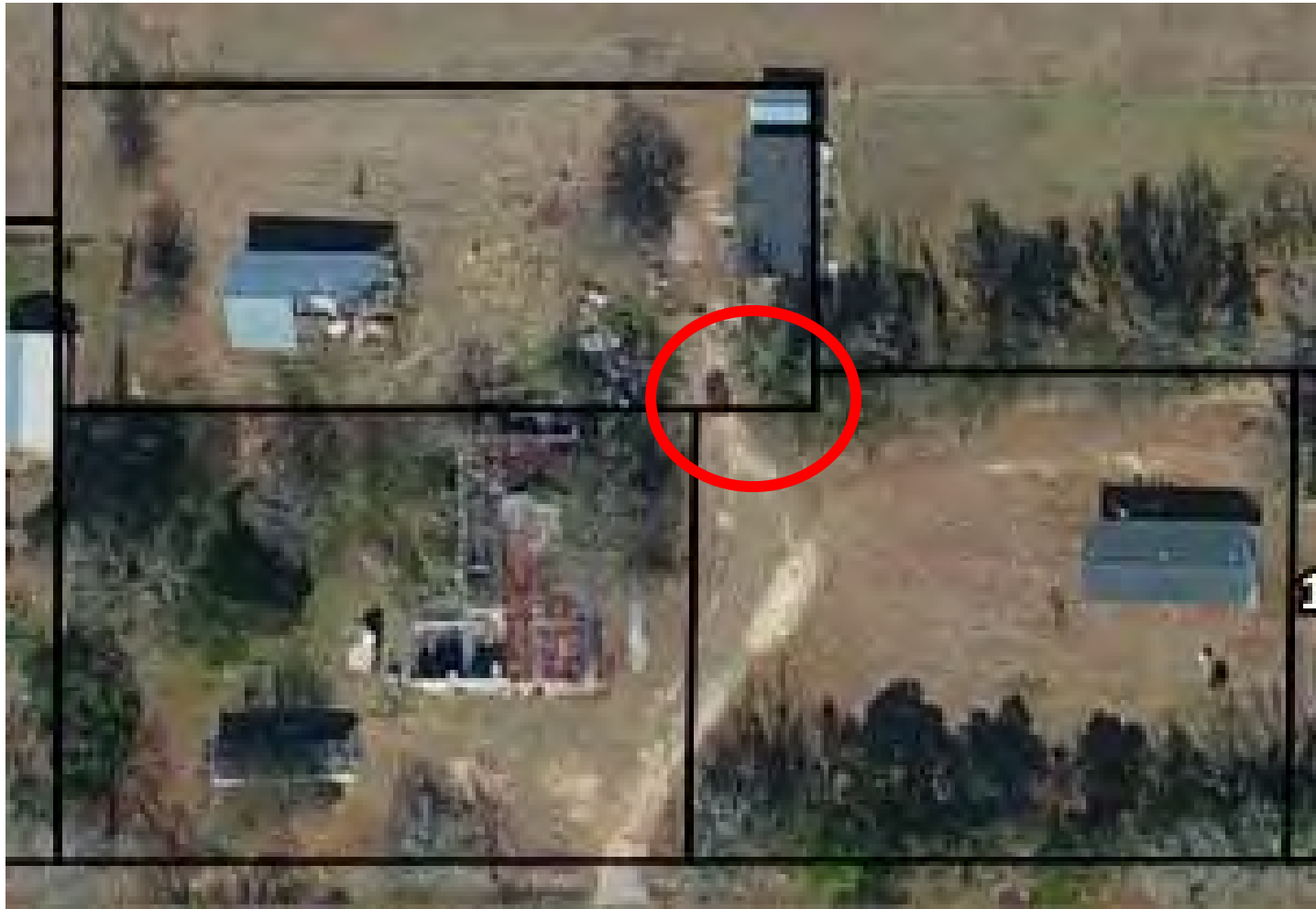


# *Encroachments/Conflicts*





# *Encroachments/Conflicts*





# **COMBINING OF PROPERTY**



## *Combining of Property*

- The combining of parcels should only be done upon the request of the owner, within a section on the same map.



## *Combining of Property*

- If a street or road is vacated, we normally go ahead and combine that vacated r/w into the owner's adjacent property.
- In this special case are we correct to combine the vacated r/w into the adjacent property owner's property?



## *Combining of Property*

- It is our opinion that when this case arises the owner of the land abutting the vacated right of way is presumed to own to the center line of the right of way unless a different intent is stated.
- <https://casetext.com/case/standard-oil-company-v-milner>
- <http://caselaw.findlaw.com/al-court-of-civil-appeals/1182017.html>
- <https://www.courtlistener.com/opinion/1142245/ex-parte-jones/>



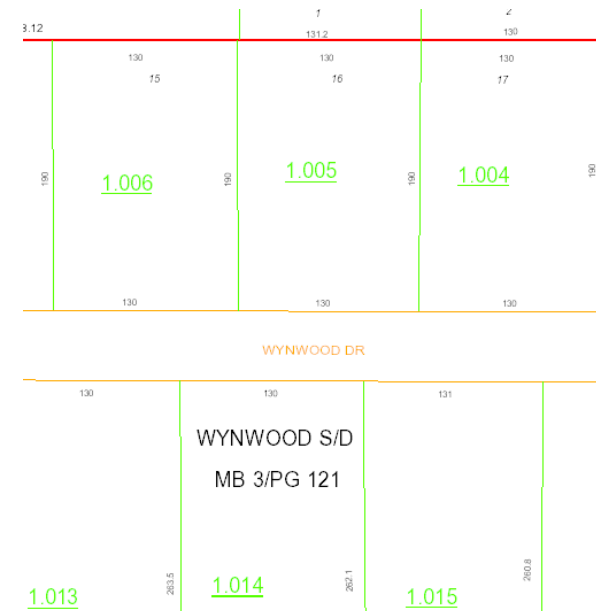
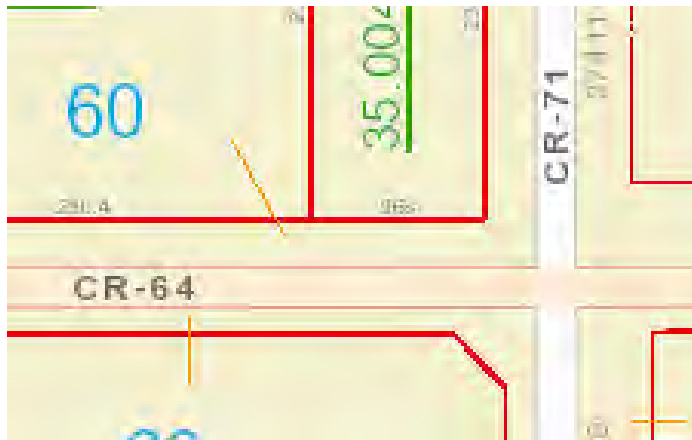


# **PLACEMENT OF INFORMATION**



# Placement of Information

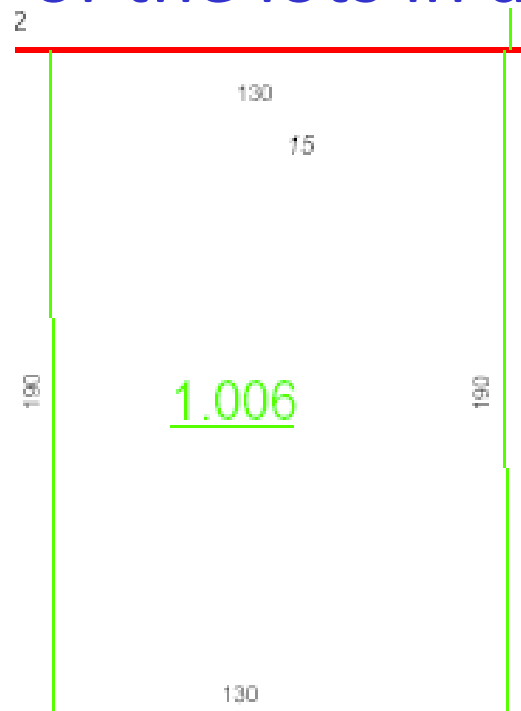
- Name or number of streets and roads should be placed in the center of the travel path





## Placement of Information

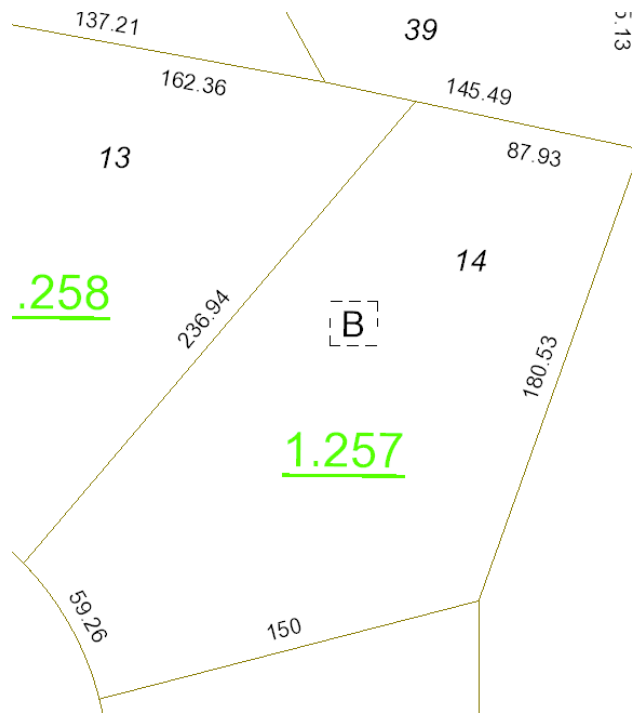
- Original subdivision lot numbers should be placed in the rear of the lots in a slanted position at a 0° angle.





## Placement of Information

- Original subdivision block numbers should be centered in its block located inside a dashed block.



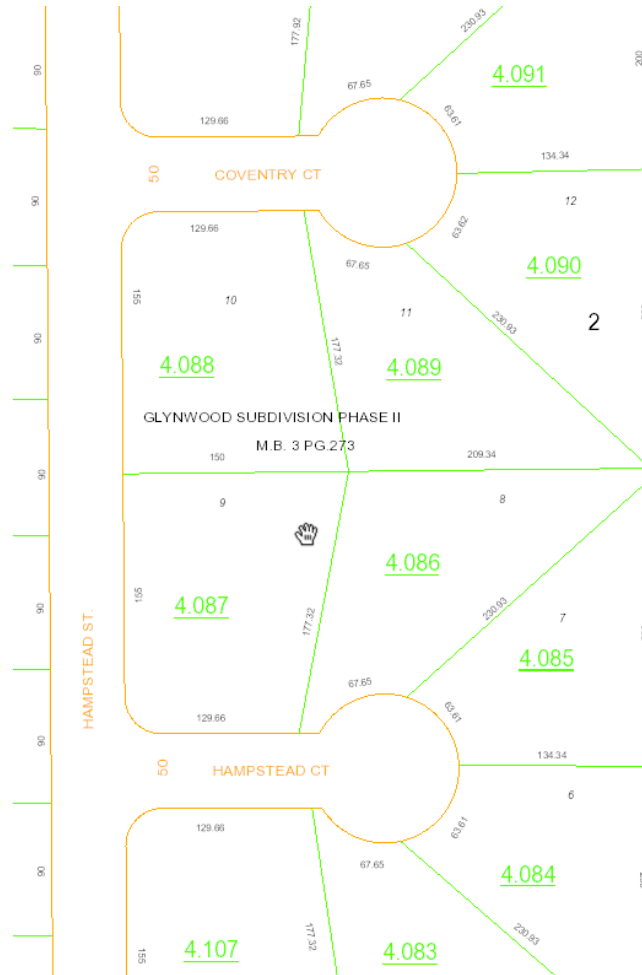


## *Placement of Information*

- Subdivision information, including the subdivision name and plat book and page number, should be shown on map. This information will always be shown within the map boundary.



# Placement of Information



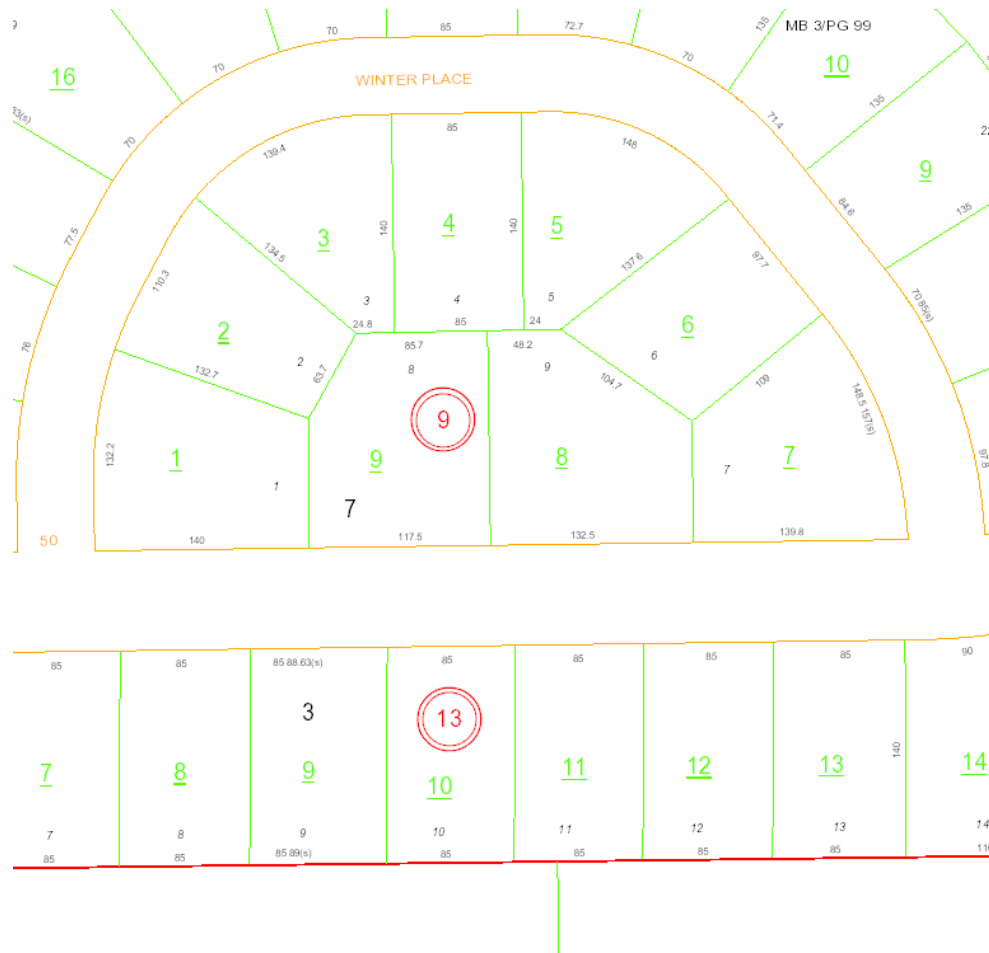


## *Placement of Information*

- Map block numbers should be placed in the center of the block with double rings included with blocking limits indicated if necessary.



# Placement of Information

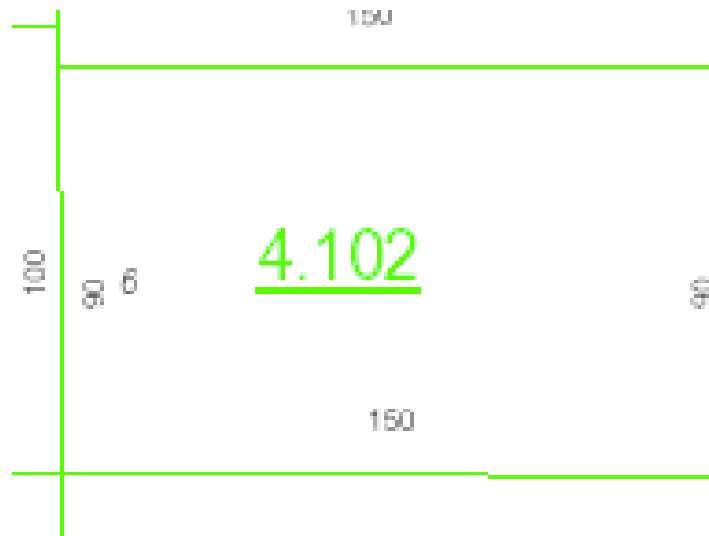






## Placement of Information

- Parcel numbers should be placed in the middle of the parcel and underlined.



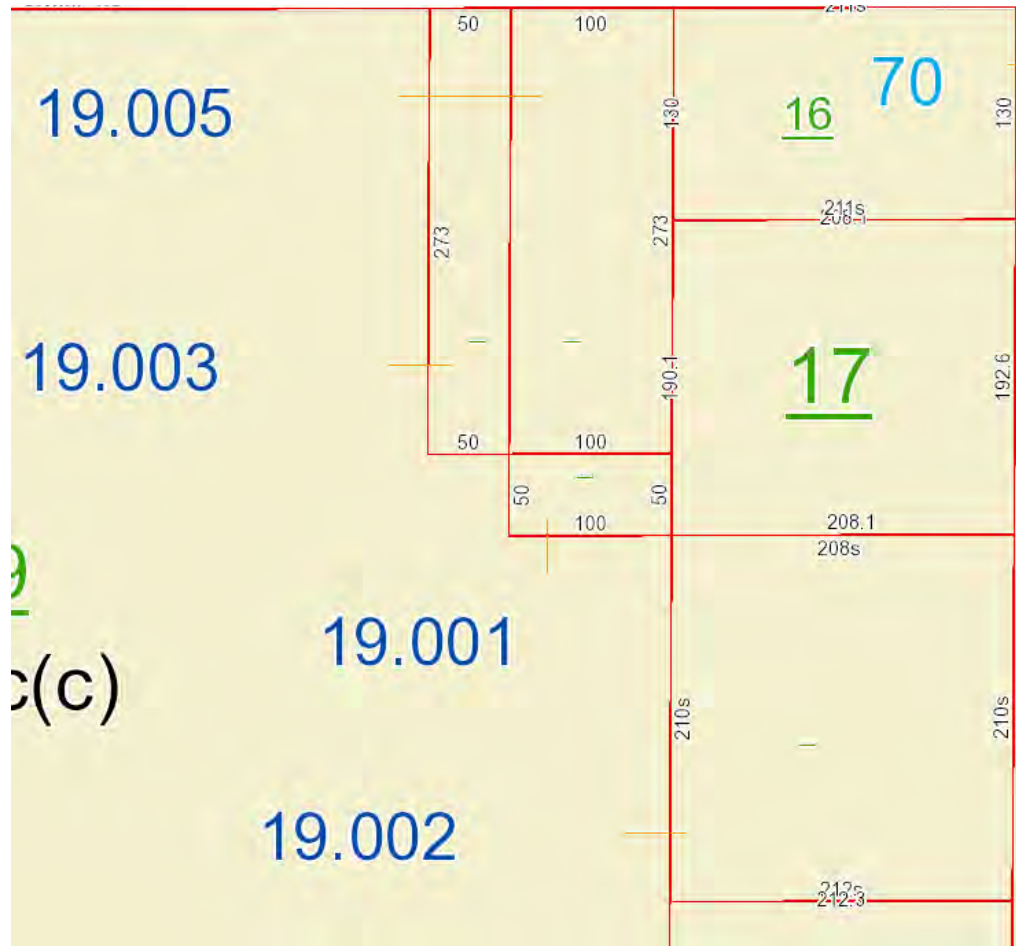


## *Placement of Information*

- When parcel number will not fit within parcel the use of a leader line or reduction in the size of the parcel number will be permitted.



# Placement of Information



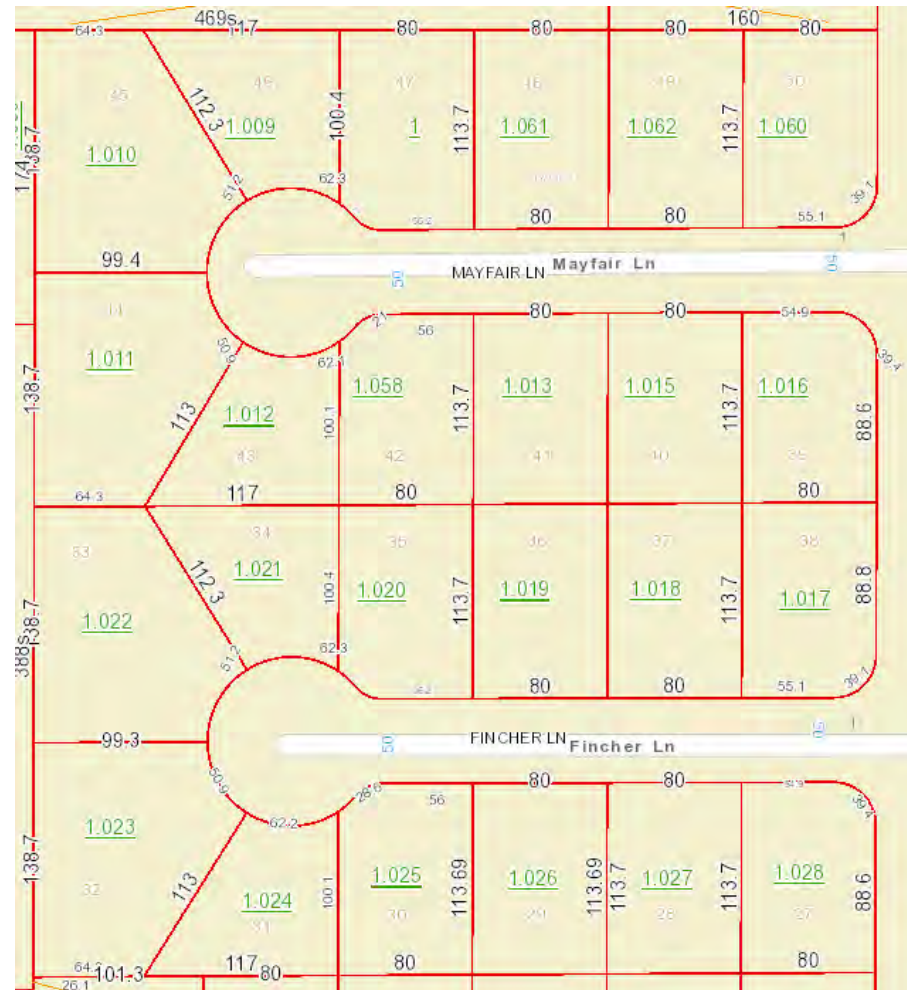


## *Placement of Information*

- Dimensions should be near the center portion of a property line.



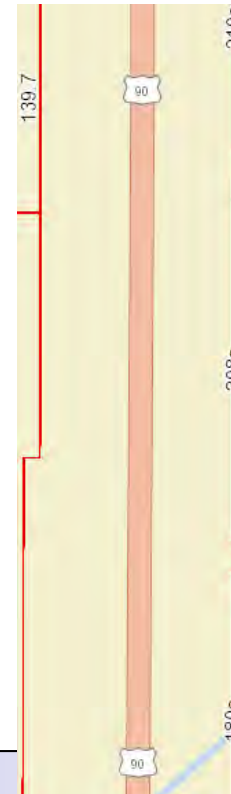
# Placement of Information





## *Placement of Information*

- All highway symbols should straddle the road right of way at a 0° angle. ROW lines should be hidden within ROW symbols.



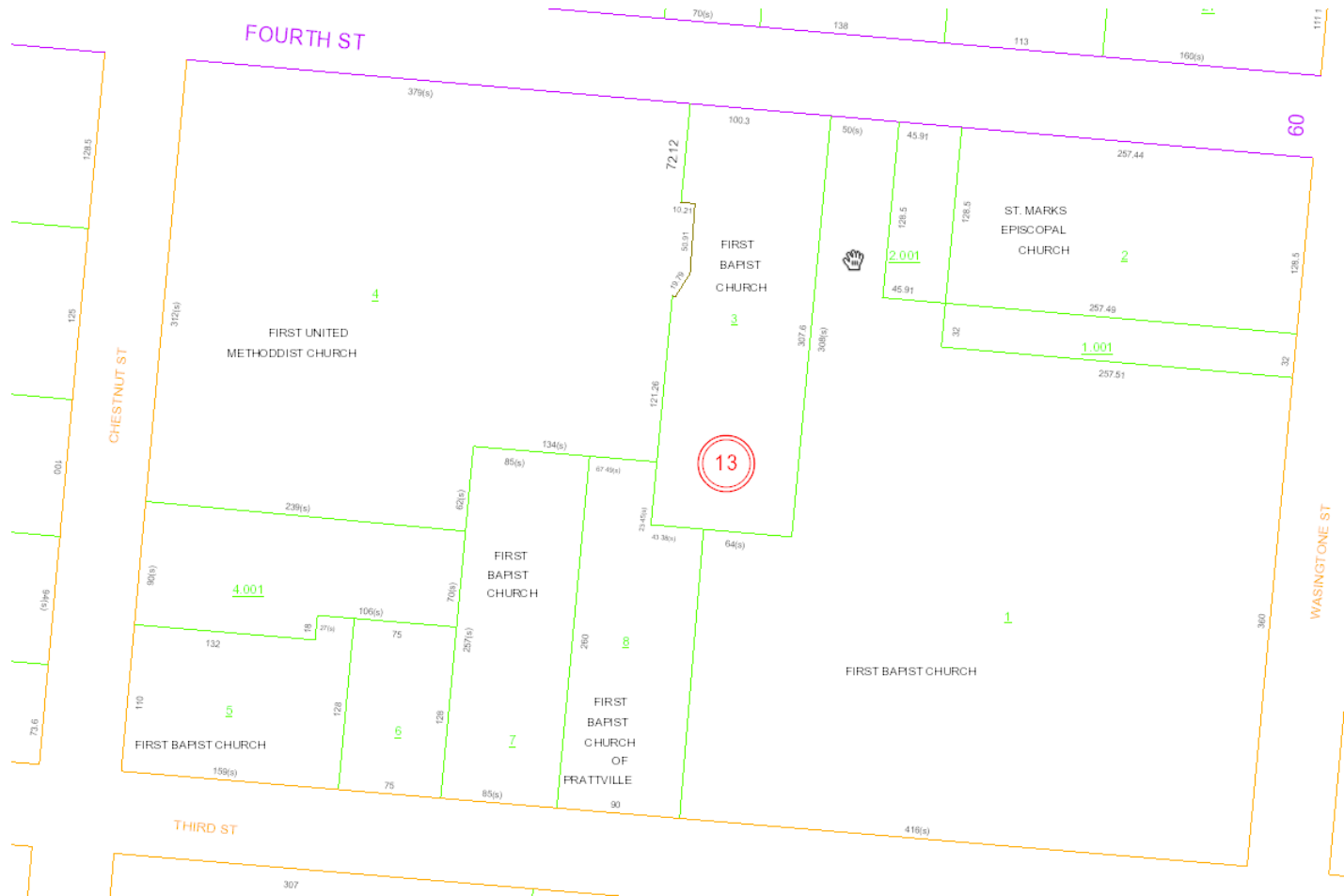


## *Placement of Information*

- Names and symbols (government property, churches, schools and cemetery) should be placed nearer the middle of the parcels.



# Placement of Information







Copies of this presentation can be found on the Alabama Department of Revenue website.

<http://revenue.alabama.gov/advalorem/sections/Presentations.cfm>

**THE END**